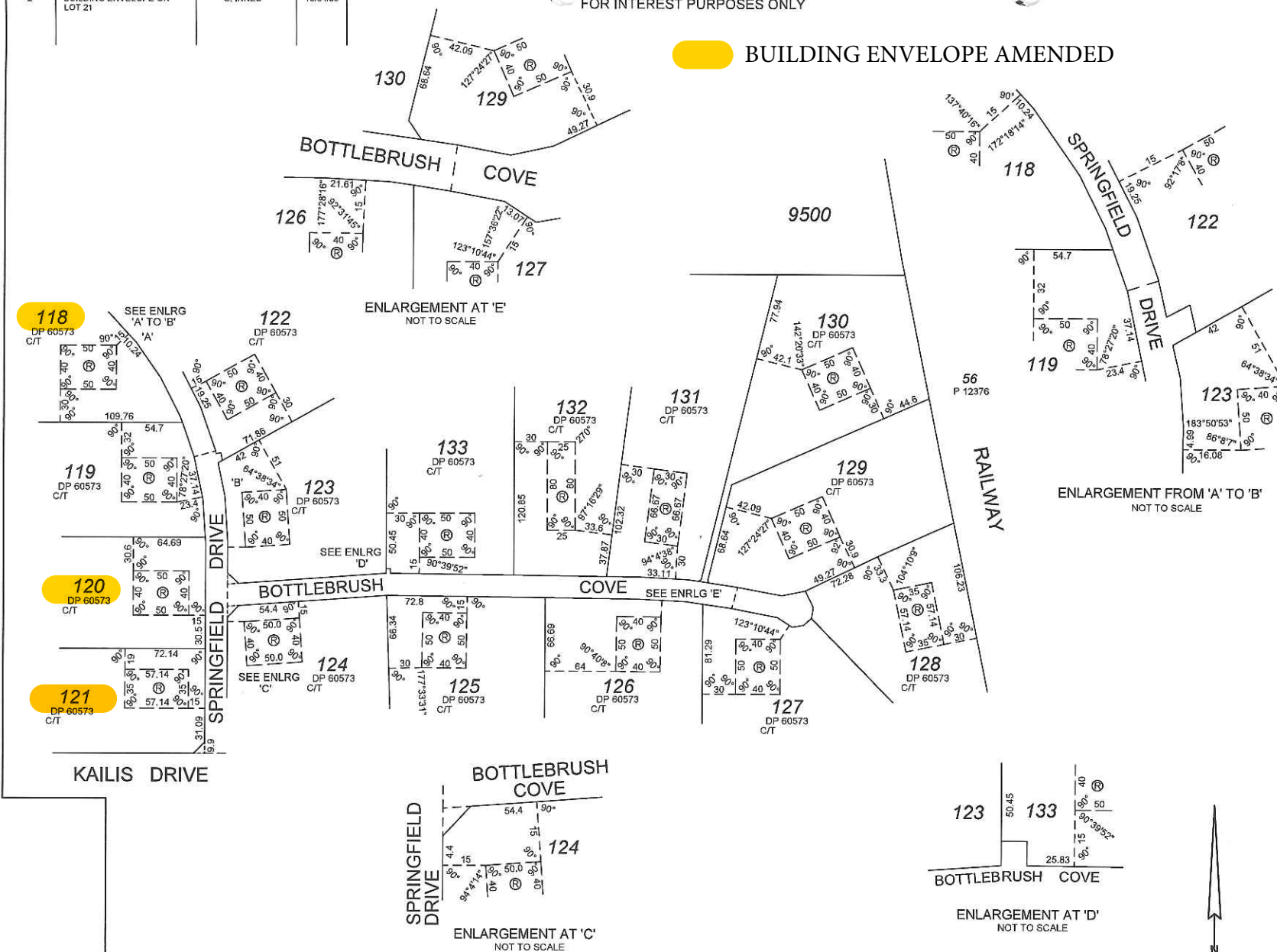


FOR INTEREST PURPOSES ONLY

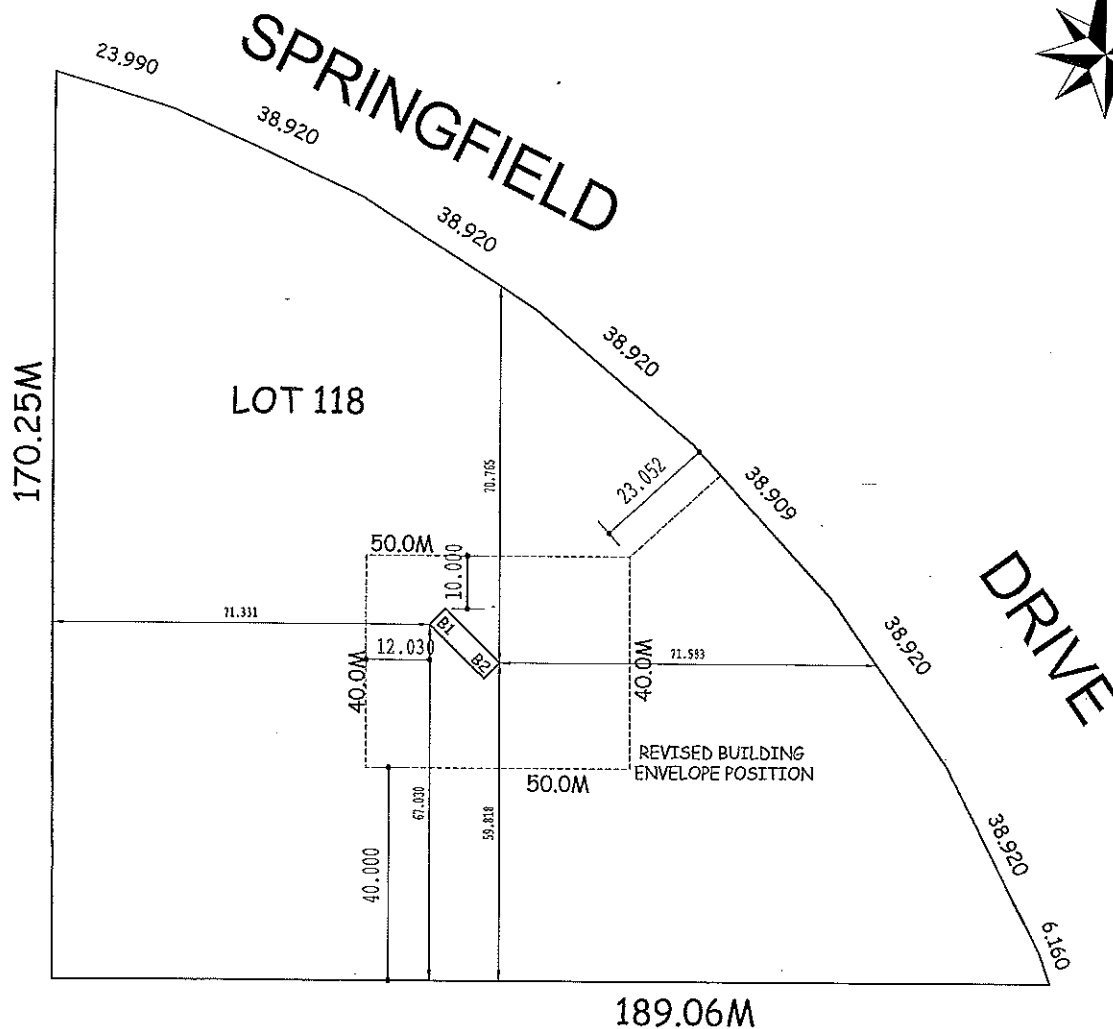
BUILDING ENVELOPE AMENDED



NOTE:
ALL BUILDING ENVELOPES LABELED (R) ARE 2000m²

APPROVED VERSION

TYPE	FREEHOLD		
PURPOSE	INTEREST		
PLAN OF			
EASEMENT AND/OR OTHER INTERESTS OVER LOTS 118 - 133 ON DP 60573			
DISTRICT VICTORIA		SSA V69NO	
TOWNSITE		FORMER TENURE	
DPI FILE			
LOCAL AUTHORITY		FIELD BOOK	
SHIRE OF IRWIN			
LOCALITY SPRINGFIELD			
CN			
INDEX DONGARA(25) N.E.			
SCALE: 1:2500 AT A2 SIZE ALL DISTANCES ARE IN METRES			
SURVEYORS CERTIFICATE - Reg 54 I, GEOFFREY PAUL INNES hereby certify that this plan is accurate and is a correct representation of the: (a) "survey, and/or (b) "calculations from measurements. ("delete if inapplicable") undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged. SIGNED: _____ DATE: 20/03/2018 BY: G. INNES Licensed Surveyor		SURVEYORS & PLANNERS HELLE THOMPSON & DELFOS PO Box 920, GERALDTON WA 6331 Ph: (08) 9921 9111 Fax: (08) 9921 6072 JOB REF : 505/06/11792	
LOGGED	TYPE OF VALIDATION	APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION	
DATE	FULL/AUT		
	LEGAL COMPONENT	FEE	
FEE PAID:	DOCUMENT PLAN / DIAGRAM		
	CERTIFIED CORRECT	DELEGATED UNDER S.18 PWA Act 200	
ASSESSED:	I.S.C.		
	I.E.C.	DATE	
IN ORDER FOR DEALINGS			
SUBJECT TO			
DATE			
APPROVED			
DATE			
INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER			
Landgate Western Australian Land Information Authority			
DEPOSITED PLAN 63439 (UNLODGED VERSION)			
SHEET	1	OF	1
VERSION	2		



SCALE 1:1000

W & J BIGLANDS

LOT 118 SPRINGFIELD ROAD
PORT DENISON STAGE 1

JOB No: 910990

DATE: 08/06/2009
DRAWN: ASF

SHEET No: 6 of 6

DATE:

REVISION DESCRIPTION:

18/06/2009	revise house position to owners dims
22/06/2009	revise house position & BUILDING ENVELOPE

PIVOT WAY Pty. Ltd. A.C.N. 053 739 512 A.B.N. 66 053 739 512 TRADING AS

McGRATH HOMES

A.B.N. 37 226 554 377 - REGISTERED BUILDER NUMBER 8570

31 CHALLENGE BOULEVARD, WANGARA, W.A. 6065

PO BOX 1229, WANGARA, W.A. 6947

TELEPHONE: 9302 1131 FAX: 9302 1132
COURTESY TOLL FREE: 1-800-33-1131

COUNTRY TOLL FREE: 1800 62 1131

WEBSITE: www.mcgrathhomes.com.au
EMAIL: mcgrath@pc.com.au

EMAIL: mcgrath@ca.com.au



MANUFACTURERS OF
CONCRETE FLOORED PRE-BUILT HOMES

THIS PLAN IS THE PROPERTY OF McGRATH HOMES AND SHALL NOT BE COPIED OR USED WITHOUT THEIR PERMISSION

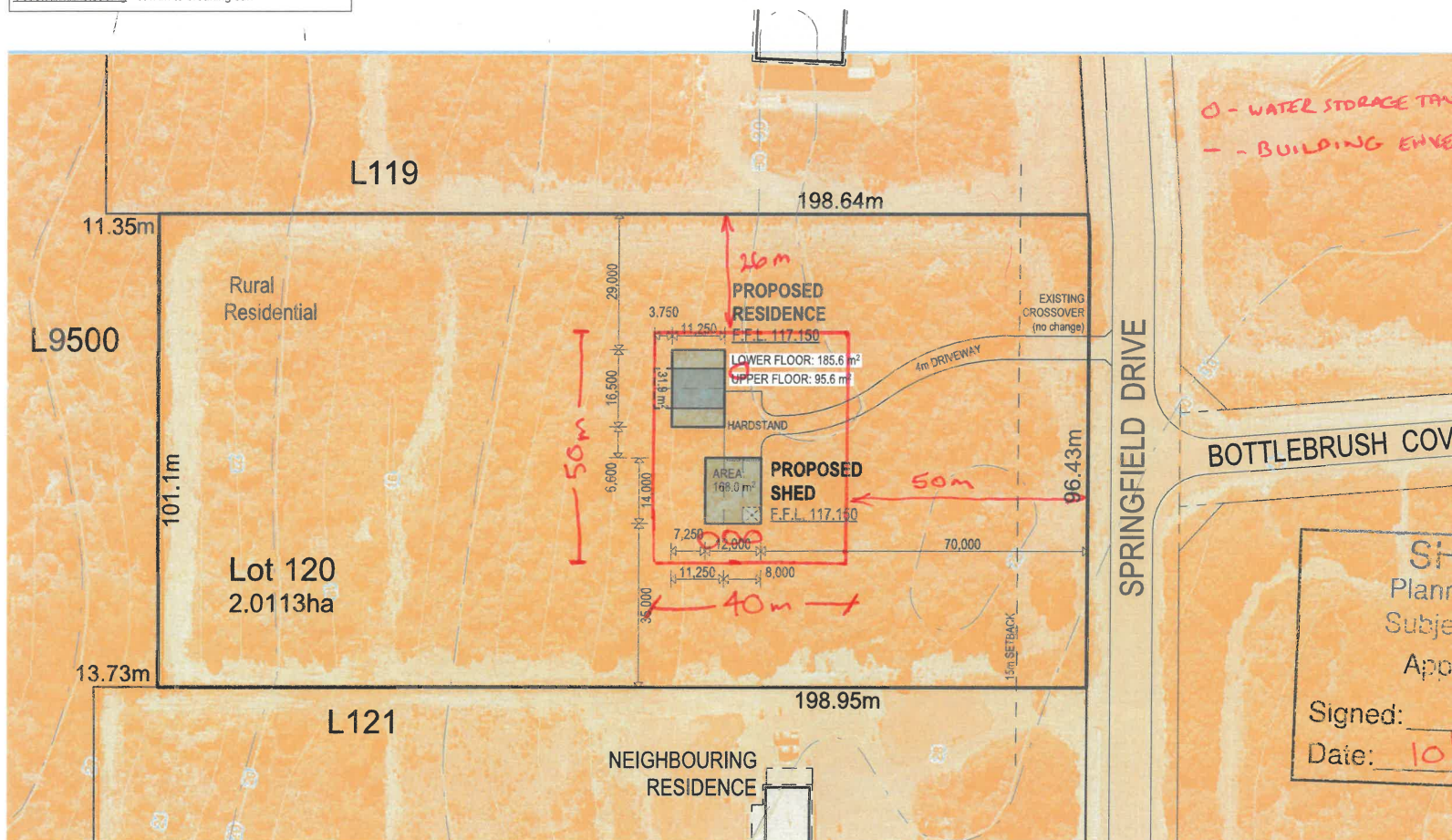
SITE INFORMATION:

Planning - Shire of Irwin LPS:5 R50 - Zoned 'Rural Residential'
BAL - In a Bushfire Prone Area (BAL TBA)
Coastal / Windloading - 3.4Km to breaking surf

CLIENT APPROVAL 00

FEB. 2025

12/03/2025



ROOF PLUMBING

1. Gutters, flashings and downpipes to be designed and installed in accordance with AS3500.3
2. Downpipe location cannot exceed 12m of gutter
3. Locate downpipes as close as possible to valley gutters
4. Overflow measures not required to eaves greater than 450w with raking eaves or 450w lining.
5. Eave gutters to N.C.C. Table 3.5.2.2 and 1 in 20 year event, fall not less than 1:500 (min. 25mm over 12m)
6. Overflow flow volumes 1 in 100 year event
7. Do not use lead components to roof plumbing system
8. Fix flashings with screws @max 600cts (TYP.)

ARTIFICIAL LIGHTING NOTES

THE LAMP POWER DENSITY or ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED

- | | |
|--|---------------------|
| (i) IN A CLASS 1 BUILDING (RESIDENCE) | - 6W/m ² |
| (ii) IN A CLASS 1 BUILDING'S VERANDAH OR BALCONY | - 4W/m ² |
| (iii) IN A CLASS 10 BUILDING (GARAGE OR CARPORT) | - 3W/m ² |

4. Garage/Shed Lighting to be LED BATTEN TUBE 2/20W or equal.
1. 'Bayonet lighting' to be LED bulb with a maximum wattage of 20W.
2. 'External Wall Lighting' to be LED bulb with a maximum wattage of 15W.
3. 'Security lighting' to be FLOODLIGHTS LED with a max. wattage of 2/15W or equal.

MATERIALS AND TRADE PRACTICES

All materials, construction and work practices shall comply with but not be limited to the current issue of The WA Building Act 2011, Building Regulations 2012, National Construction Code Building Code Of Australia Vol. 2 (hereafter referred to as BCA), and all relevant current Australian Standards referred to therein.

SHIRE OF IRWIN
Planning Approval Granted
Subject to the Conditions of

Approval No: P25-37

Signed: *[Signature]*

Date: 10/6/25 Sheet: 6 / 6

LARGE SITE PLAN

1:1000

SHOWING BUILDING ENVELOPE - CHRIS SCHARF 9/6/25

GENERAL NOTES:

1. DO NOT SCALE THESE DRAWINGS.
2. ALL DIMENSIONS, LEVELS AND SITE CONDITIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES REPORTED IMMEDIATELY.
3. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
4. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, LOCAL GOVERNMENT AUTHORITIES REQUIREMENTS, AS WELL AS THE LATEST REVISIONS OF THE RELEVANT AUSTRALIAN STANDARDS.
5. ALL WORKS TO COMPLY WITH STRUCTURAL ENGINEERS DETAILS AND OTHER RELEVANT DRAWINGS/REPORTS
6. READ THIS DRAWING IN CONJUNCTION WITH ALL SERVICE, SHED MANUFACTURERS AND ENGINEERING DRAWINGS.
7. PLEASE ENSURE THAT WORKS ARE COMPLIANT WITH THE CURRENT EDITION OF THE NATIONAL CONSTRUCTION CODES (B.C.A.) AND AUSTRALIAN STANDARDS REFERENCED USING THE LATEST AMENDMENTS AND EDITIONS.
8. NOTIFY THE DESIGNER OF ANY ERRORS, DISCREPANCIES OR OMISSIONS WITHIN THESE DRAWINGS.

STEEL FRAMING

- STEEL FRAMING TO BE DESIGNED AND CONSTRUCTION IN ACCORDANCE WITH PART 3.4.2 STEEL FRAMING AND ALL RELEVANT SUPPLEMENT INCLUDING
 - AS4600 AND/OR
 - NASH RESIDENTIAL AND LOW-RISE STEEL FRAMING - PART 1
- THE FRAME MUST BE PROTECTED FROM CORROSION AS PER THE ENVIRONMENTAL CLASSIFICATION (SALINE AND/OR AGGRESSIVE INDUSTRIAL ENVIRONMENT PER BCA TABLE 7.2.2A)
- THE FRAME MUST BE PERMANENTLY ELECTRICALLY EARTHED ON COMPLETION OF FIXING.
- INSTALLATION OF SERVICES MUST BE IN ACCORDANCE WITH B.C.A. PART 3.4.2.6. INCLUDING THE USE OF GROMMETS FOR SERVICES WHICH PASS THROUGH FRAMING, AND INSULATION OF BRASS & COPPER FROM STEEL NOGGIN.

Barge & Cappings

Finish off along barge boards with purpose made 0.6 C/bond capping and flashing
Metal & Timber Protection
Prevent direct contact between incompatible metals and between green hardwood or chemically treated timber and any aluminium or coated steel, by applying an anti-corrosion, low moisture transmission coating to contact surfaces

STORMWATER NOTES

- PROPOSED FLOOR AREA (NEW WORK) = 180m²
TOTAL IMPERMEABLE HARDSTANDING AREA 180m² x 0.9/60 = 2.7m³
STORAGE VOLUME REQUIRED = 2.7m³
STORMWATER MANAGEMENT SYSTEM VOLUME PROVIDED = 2.72m³
2 x Soakwalls = 12000 x 12004 x 1.36m³ Each
- All stormwater pipes 1000 PVC - min grade 1:100 shall be connected to the legal point of discharge to the relevant authority's approval.
 - Soakwalls connected with 1000 PVC stormwater pipes
 - The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings, footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system



PROPOSED RESIDENCE & SHED
P060573 Lot 120
Springfield Drive
SPRINGFIELD WA 6525

For:	Chris SCHARF		
Dwg Title:	SITE PLAN		
Date:	FEB. 2025	Drawn:	JD
Job No:	SH 40065	Dwg No:	BA01
		chkd:	JF
		Rev No:	-

The builder must verify all dimensions on site before commencing any work or shop dwgs.

Existing
Envelope

Proposed New
Envelope

BUILDING ENVELOPE PLAN

SHIRE OF IRWIN
Planning Approval Granted
Subject to the Conditions of
Approval No: P25-62

Signed: [Signature]

Date: 16/3/25

Sheet: 2/3

