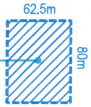




**LEGEND**

5000m<sup>2</sup> 

**5000m<sup>2</sup> BUILDING ENVELOPE**

 Lots subject to LDP

 Primary Access

**DEVELOPMENT PROVISIONS**

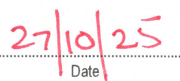
1. All buildings, outbuildings, water tanks and effluent disposal systems are to be located within the nominated building envelopes shown unless otherwise approved by the Shire of Irwin.
2. Primary Access for Lot 149 shall be from Stack Road. Access to Summer Wattle Drive is restricted to emergency access only.

This plan combines and consolidates a number of subdivision applications and/or approvals; however, these are not necessarily the current designs nor reflective of any conditions assigned to an approval that may alter the design. This plan should not be used as the basis for precepts or engineering design and if such action is contemplated CLE must be contacted for the approved plan.



**WAPC REF: 164327 ENDORSEMENT**

This Local Development Plan has been approved by the Shire of Irwin pursuant to Clause 52(1)(1) of the Planning and Development (Local Planning Schemes) Regulations - 2015 Schedule 2 - Deemed Provisions this Local Development Plan is hereby approved.

Authorised Officer ..... Date .....

Local Development Plan Expiry Date .....