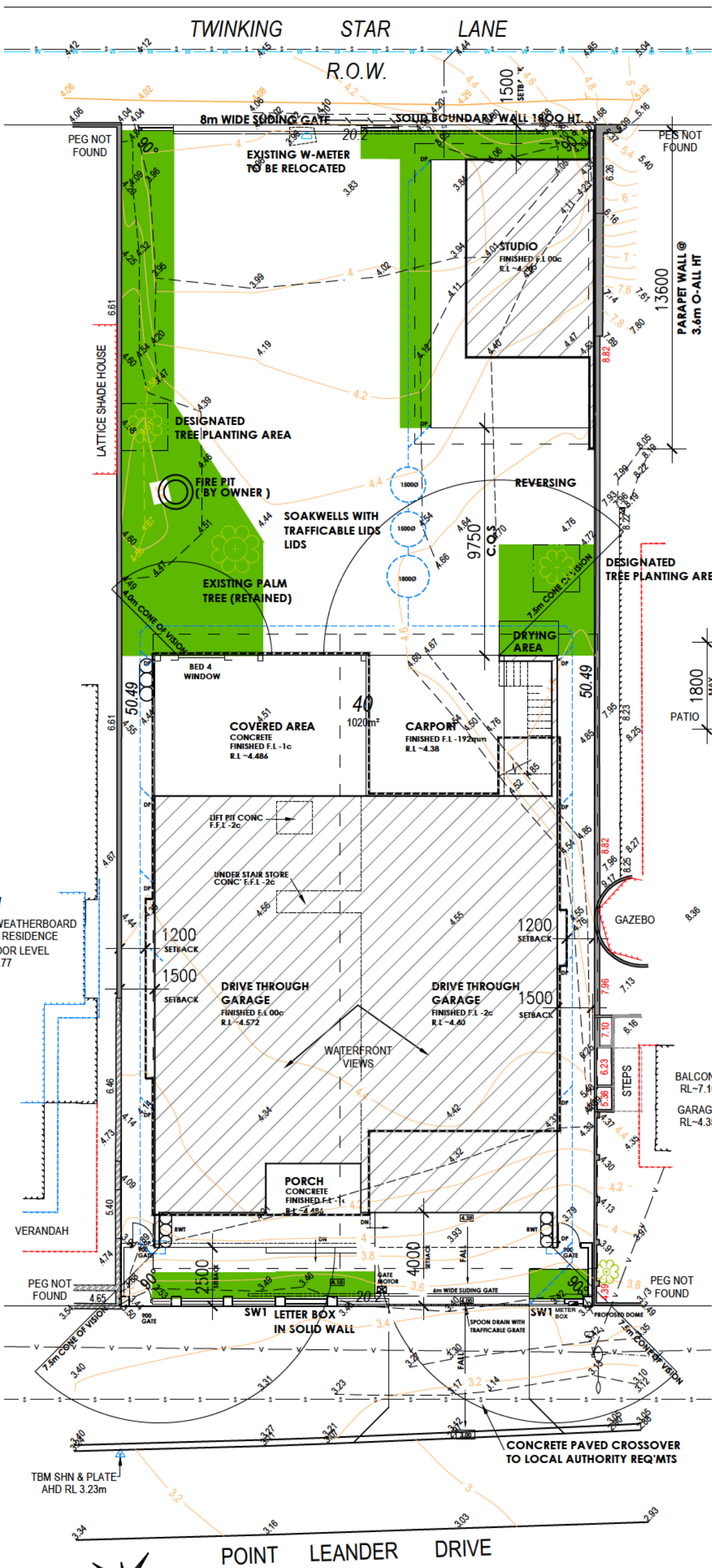
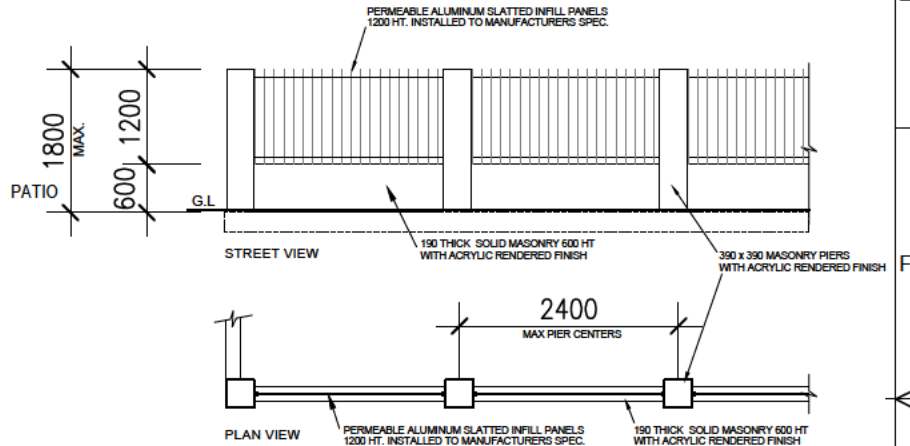




LEGEND

- T.B.M.
- POWER POLE
- WIRE ANCHOR
- STREET LIGHT
- WATER METER
- COMMUNICATIONS PIT
- TREE
- FENCE
- TOP OF KERB
- BOTTOM OF KERB
- CHANGE IN GRADE
- BOTTOM OF BANK
- TOP OF BANK
- ROAD CENTRE
- CONCRETE
- TOP OF RETAINING
- TOP OF BRICK WALL
- TOP OF LIMESTONE WALL
- BUILDING (GROUND FLOOR)
- BUILDING (FIRST FLOOR)
- GROUND FLOOR ROOFLINE
- FIRST FLOOR ROOFLINE
- POWERLINE
- ASSUMED WATER ALIGNMENT
- ASSUMED SEWER ALIGNMENT



SW1 - STREET BOUNDARY FENCE DETAIL
NTS

39
SPLIT LEVEL BRICK & TILE
RESIDENCE
FIRST FLOOR LEVEL
RL~8.44

■ - 15% SOFT LANDSCAPING IN ACCORDANCE WITH FIGURE 1.2a

ZONING R50
LOT AREA 1020m²
TOTAL ENCLOSED FOOTPRINT = 343 m²
~ 343/1020 x 100 = 33.62%
TOTAL OPEN SPACE = 66.38%

STORMWATER

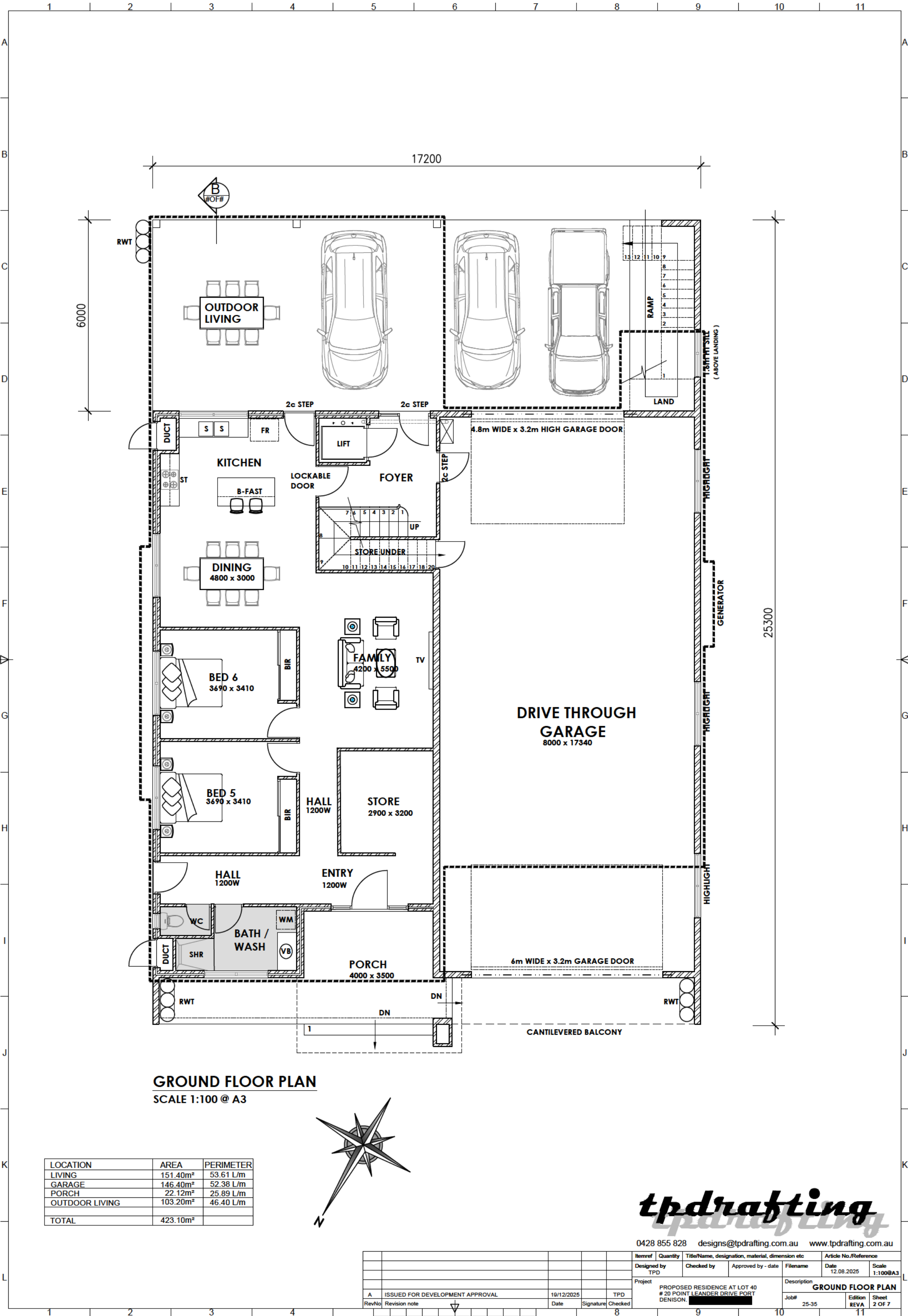
FORMULA FOR SANDY SUBSOILS (RESIDENTIAL)
TOTAL IMPERVIOUS AREA * IN m² x 0.9 / 60
= STORAGE VOLUME REQUIRED IN m³
* TOTAL IMPERVIOUS AREA (ROOFS, PAVING ETC.)
CALCULATION
TOTAL IMPERVIOUS AREA = ROOF (595m²) + PAVING (30m²) = 625m²
625 x 0.9 / 60 = 9.38m³ OF STORAGE REQUIRED
1 x 1800Ø x 1800D TANK = 4.58m³ OF STORAGE
1 x 1500Ø x 1500D TANK = 2.65m³ OF STORAGE
EG. 2 x 1500Ø x 1500D TANK = 5.30m³ OF STORAGE
+ 1 x 1800Ø x 1800D (4.58³) = 9.88m³ TOTAL
OR 94 UNITS x 600 x 400 x 440 CELL (0.100m³) = 9.40m³ OF STORAGE
NOTE - THE DRAINAGE LAYOUT DEPICTED IN THIS DRAWING IS
DIAGRAMMATIC ONLY. THE BUILDER TO FINALIZE DESIGN BEFORE
COMMENCEMENT OF WORKS

SITE PLAN
SCALE 1:200 @ A3



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Item/Ref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by	TPD	Checked by	Approved by - date
Project	PROPOSED RESIDENCE AT LOT 40 # 20 POINT LEANDER DRIVE PORT DENISON.		Description
RevNo	Revision note	Date	Signature
A	ISSUED FOR DEVELOPMENT APPROVAL	19/12/2025	TPD
Job#	25-35	Edition	REVA
Sheet	1 OF 7		



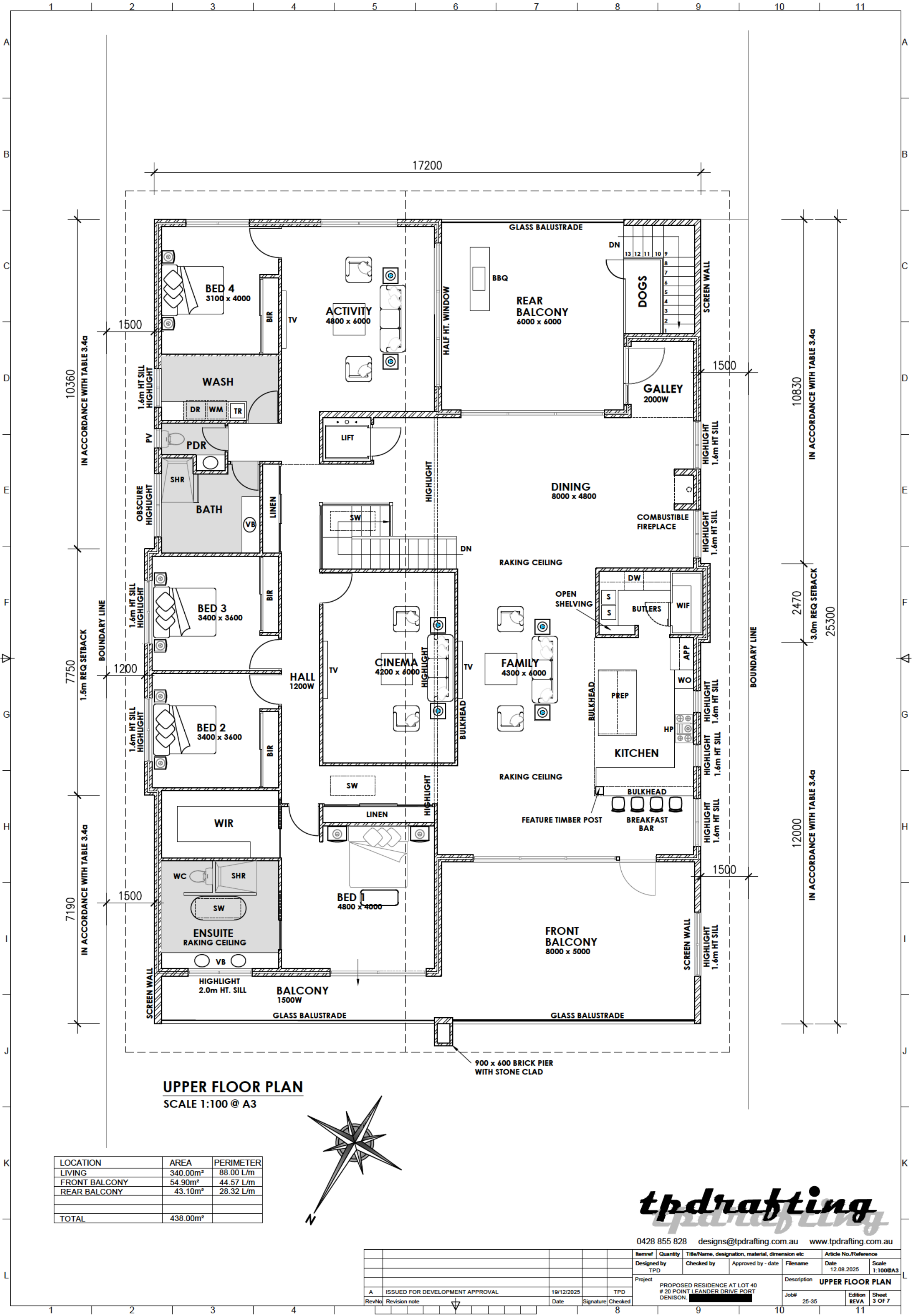
GROUND FLOOR PLAN
SCALE 1:100 @ A3



LOCATION	AREA	PERIMETER
LIVING	151.40m ²	53.61 L/m
GARAGE	146.40m ²	52.38 L/m
PORCH	22.12m ²	25.89 L/m
OUTDOOR LIVING	103.20m ²	46.40 L/m
TOTAL	423.10m ²	

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Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
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TPD			Date 12.08.2025
Project	PROPOSED RESIDENCE AT LOT 40 # 20 POINT LEANDER DRIVE PORT DENISON.		Description
A	ISSUED FOR DEVELOPMENT APPROVAL		Job# 25-35
RevNo	Revision note	Date	Signature
1		19/12/2025	TPD
			GROUND FLOOR PLAN
			Sheet 2 OF 7



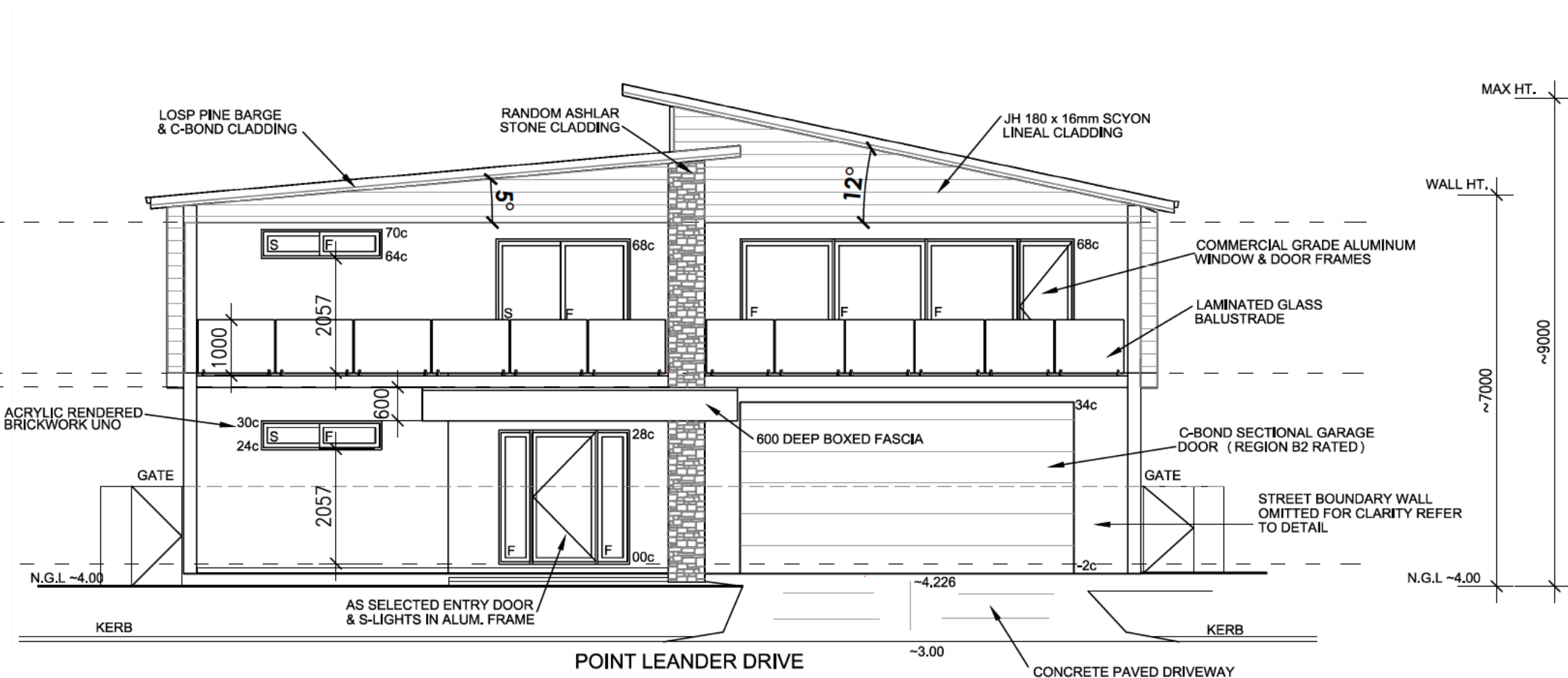
UPPER FLOOR PLAN
SCALE 1:100 @ A3



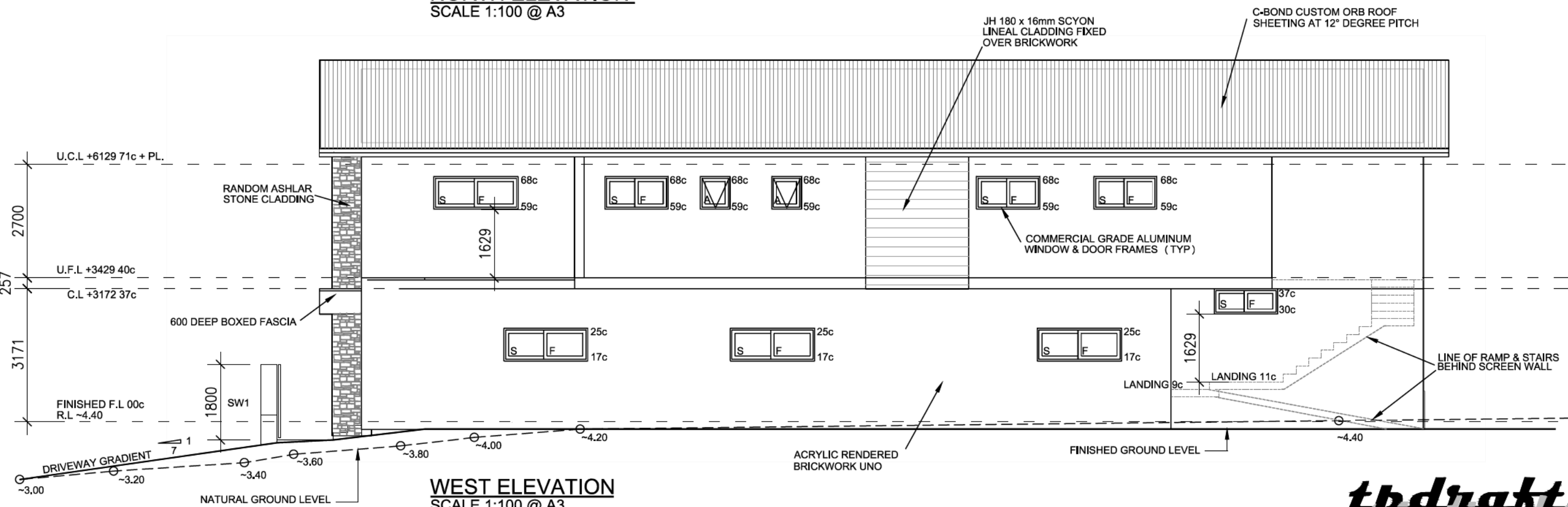
LOCATION	AREA	PERIMETER
LIVING	340.00m ²	88.00 L/m
FRONT BALCONY	54.90m ²	44.57 L/m
REAR BALCONY	43.10m ²	28.32 L/m
TOTAL	438.00m ²	

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Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by	TPD	Checked by	Approved by - date
Project	PROPOSED RESIDENCE AT LOT 40 # 20 POINT LEADER DRIVE PORT DENISON.	Description	UPPER FLOOR PLAN
RevNo	Revision note	Date	Signature
A	ISSUED FOR DEVELOPMENT APPROVAL	19/12/2025	TPD
Job#	25-35	Edition	REVA
Sheet	3 OF 7		



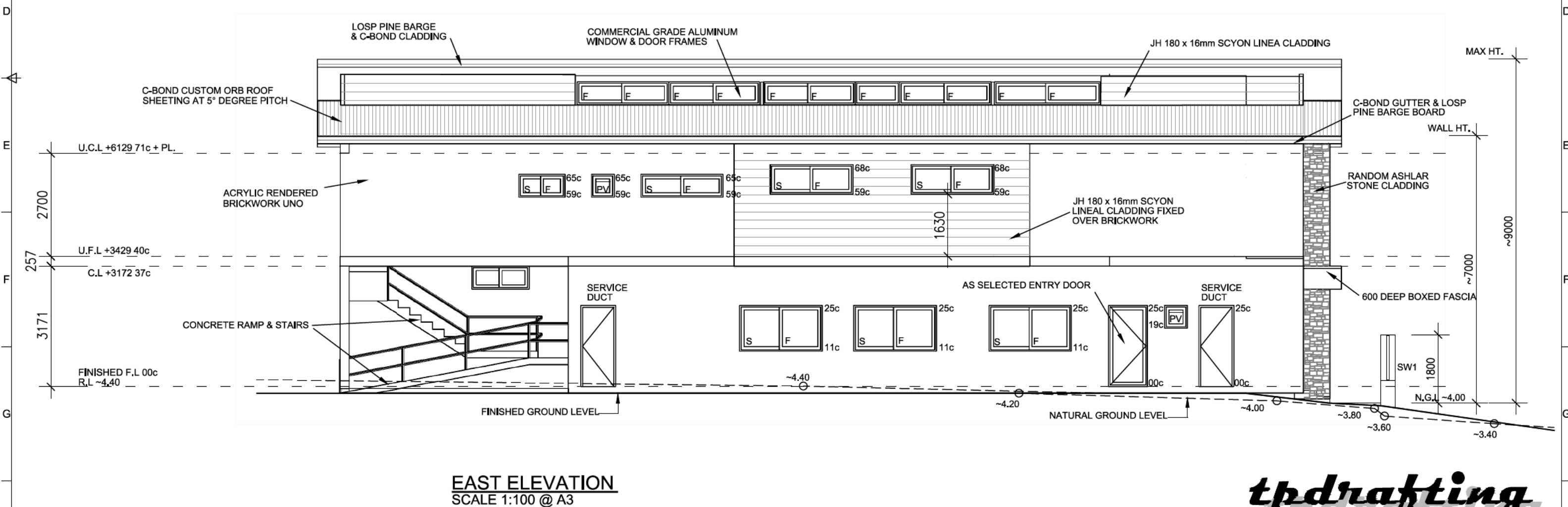
NORTH ELEVATION
SCALE 1:100 @ A3



WEST ELEVATION
SCALE 1:100 @ A3

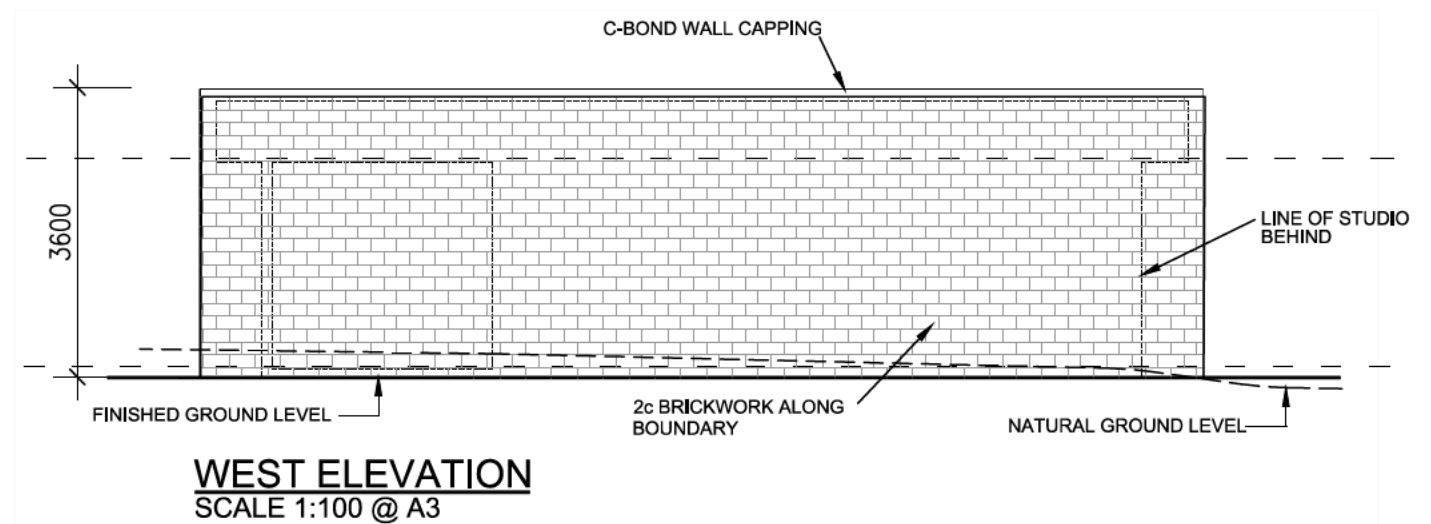
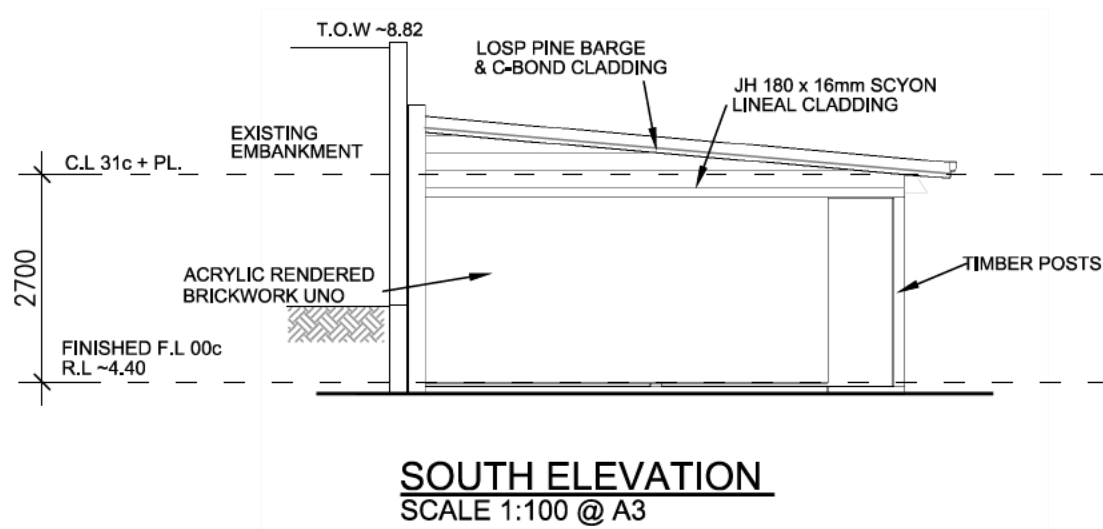
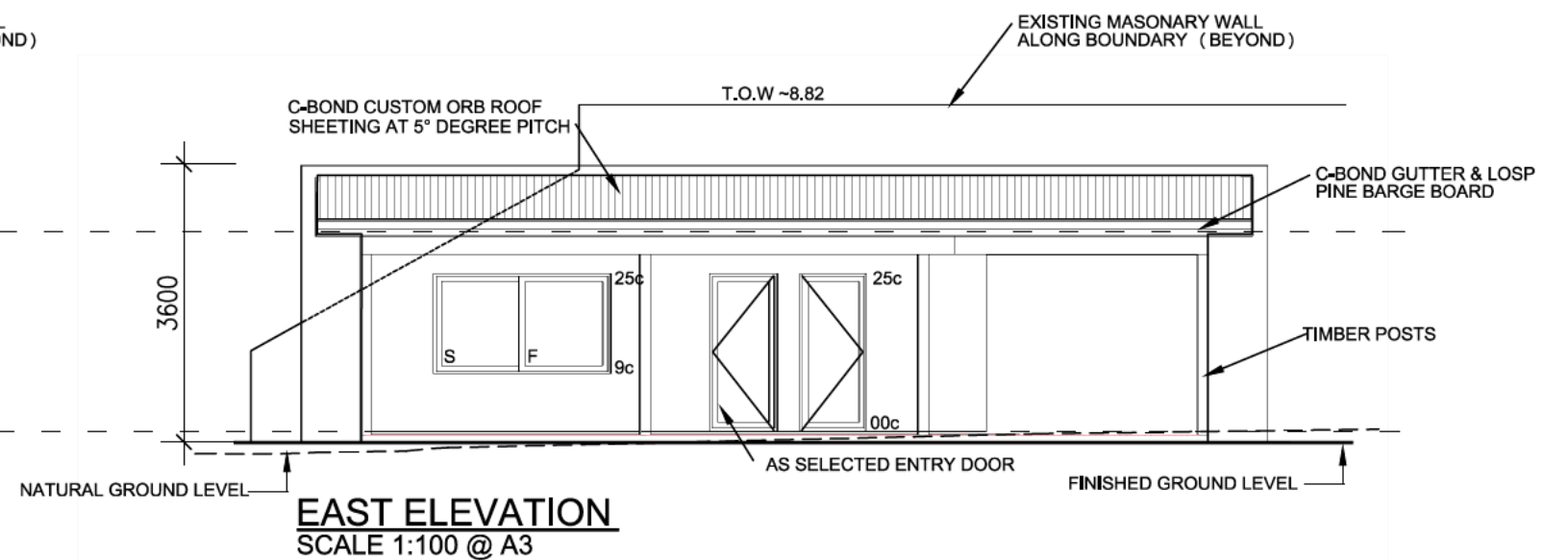
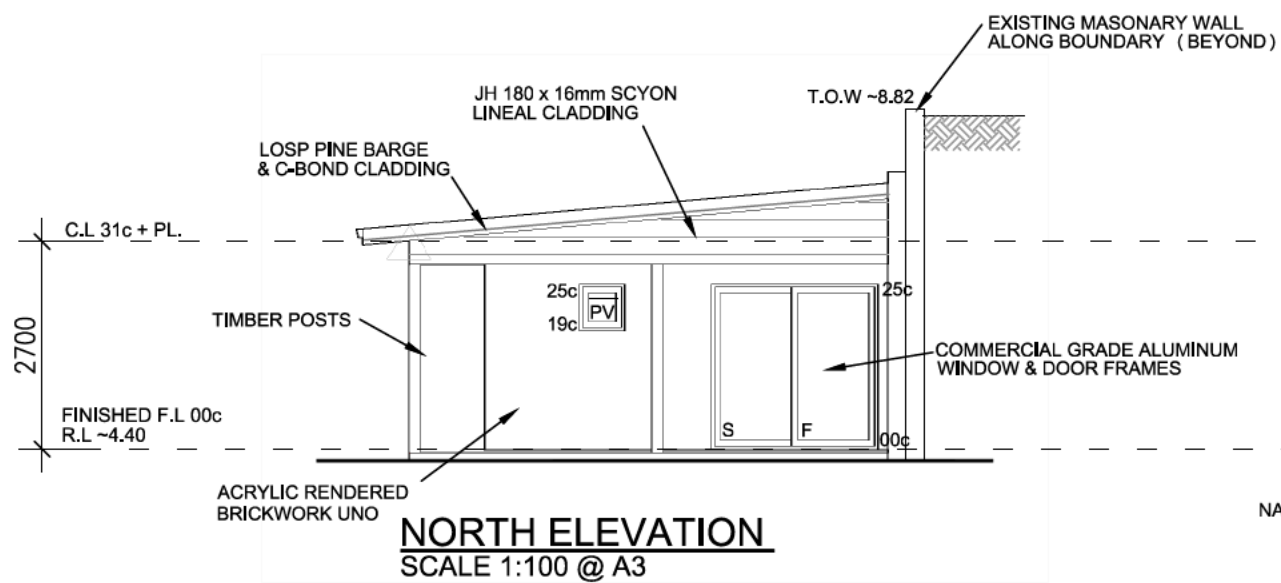
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Item/Ref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by	Checked by	Approved by - date	Filename
TPD		12/08/2025	1:100@A3
Project		Description	HOUSE - ELEVATIONS 1
PROPOSED RESIDENCE AT LOT 40 # 20 POINT LEANDER DRIVE PORT DENISON. FOR R. & K. WILLIAMS		Job#	25-35
Revision		Edition	REVA
Revision note		Signature	Checked
A	ISSUED FOR DEVELOPMENT APPROVAL	19/12/2025	TPD
RevNo	Revision note	Date	Signature



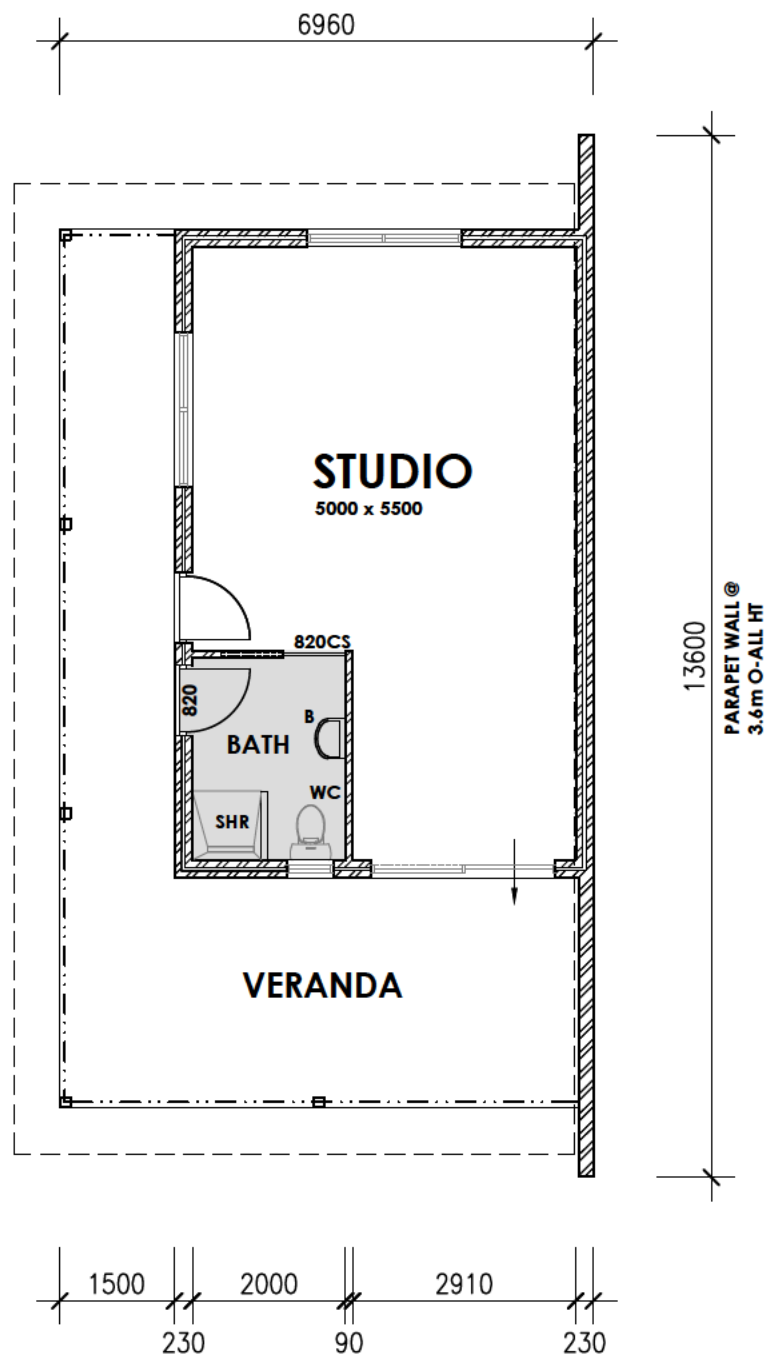
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Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by	TLP	Checked by	Approved by - date
Project	PROPOSED RESIDENCE AT LOT 40 # 20 POINT LEANDER DRIVE PORT DENISON.		
RevNo	Revision note	Date	Signature
A	ISSUED FOR DEVELOPMENT APPROVAL	19/12/2025	TPD
		Checked	
		Job#	25-35
		Edition	REVA
		Sheet	7 OF 7



STUDIO FLOOR PLAN
SCALE 1:100 @ A3

LOCATION	AREA	PERIMETER
LIVING	46.20m ²	27.84 L/m
VERANDAH	33.00m ²	36.40 L/m
TOTAL	79.20m ²	



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Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference		
Designed by	TPD	Checked by	Approved by - date	Filename	Date
					12.08.2025
					Scale
					1:100@A3
Project			Description		
PROPOSED RESIDENCE AT LOT 40			STUDIO FLOOR PLAN		
# 20 POINT LEANDER DRIVE PORT			Job#		
DENISON.			25-35		
RevNo	Revision note	Date	Signature	Checked	Sheet
A	ISSUED FOR DEVELOPMENT APPROVAL	19/12/2025	TPD		6 OF 7





